



BRINKLOW

NEIGHBOURHOOD PLAN

DESIGN CODE



Quality information

Document name	Ref	Prepared for	Prepared by	Date	Reviewed by
Brinklow Neighbourhood Plan Design Codes	DR-10398	Brinklow Neighbourhood Plan Steering Group	Nick Beedie, Ilja Anosovs, AECOM	January 2020	Nick Beedie, AECOM Becky Mather, AECOM



Limitations

This document has been prepared by AECOM Limited ("AECOM") in accordance with its contract with Locality (the "Client") and in accordance with generally accepted consultancy principles, the budget for fees and the terms of reference agreed between AECOM and the Client. Any information provided by third parties and referred to herein has not been checked or verified by AECOM, unless otherwise expressly stated in the document. AECOM shall have no liability to any third party that makes use of or relies upon this document.

This document is intended to aid the preparation of the Neighbourhood Plan, and can be used to guide decision making and as evidence to support Plan policies, if the Qualifying Body (QB) so chooses. It is not a neighbourhood plan policy document. It was developed by AECOM based on the evidence and data reasonably available at the time of assessment and therefore has the potential to become superseded by more recent information. The QB is not bound to accept its conclusions. If landowners or any other party can demonstrate that any of the evidence presented herein is inaccurate or out of date, such evidence can be presented to the QB at the consultation stage. Where evidence from elsewhere conflicts with this report, the QB should decide what policy position to take in the Neighbourhood Plan and that judgement should be documented so that it can be defended at the Examination stage.

Copyright

© This Report is the copyright of AECOM UK Limited. Any unauthorised reproduction or usage by any person other than the addressee is strictly prohibited.

Contents

1. Introduction

- 1.1. Background
- 1.2. Purpose and scope
- 1.3. Methodology
- 1.4. Document Structure
- 1.5. Policy and Guidance
- 1.6. The Study Area

2. Assessment

- 2.1. Settlement Pattern
- 2.2. Movement and streets
- 2.3. Landscape and heritage
- 2.4. Facilities and neighbourhood
- 2.5. Built-form and characterisation

3. Site Design Codes

- 3.1. Character Area Code
- 3.2. Site 1: Land Between Spinney and Bull's Head
- 3.3. Site 2: Land off Yew Tree Hill
- 3.4. Site 3: Land South of George Birch Close
- 3.5. Site 4: Land North of George Birch Close
- 3.6. Site 5: Land at Mapledown

4. Next Steps



1.0 INTRODUCTION

1.1 Background

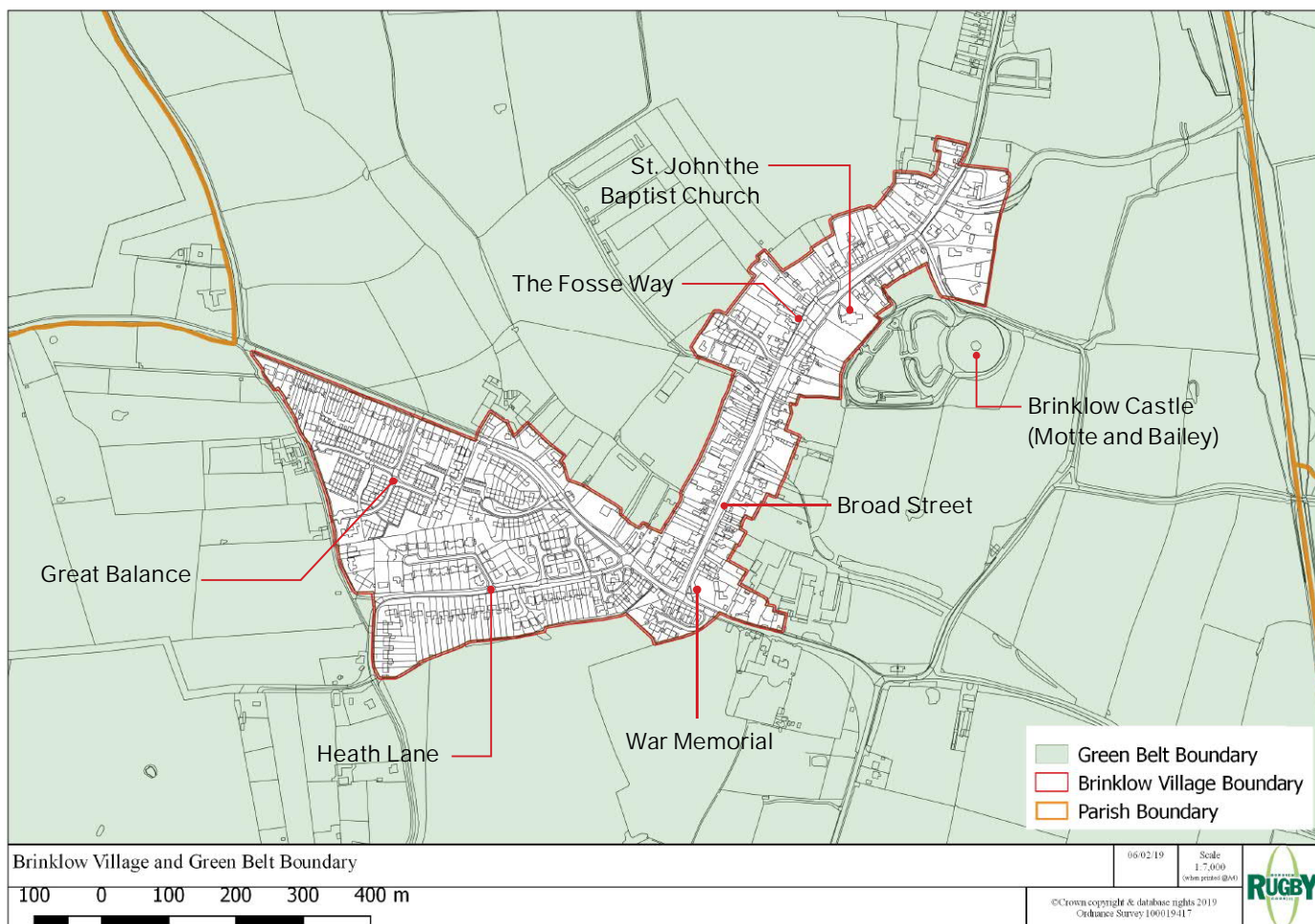
The village of Brinklow Neighbourhood Plan Steering Group (NPSG) are seeking to shape and influence development within their area via the process of producing a Neighbourhood Plan that will be put to a referendum in the Parish. They aim to submit the plan to the local planning authority in the near future

Through Locality's support programme, the village of Brinklow Neighbourhood Plan Steering Group (NPSG) has been assigned AECOM to undertake a work-pack focussed on Design and Design Codes which will help to provide an evidence base for their emerging Neighbourhood Plan.

Locality is the national membership network for community organisations that bring local people together to produce neighbourhood plans.

1.2 Purpose and Scope

As stated the broad purpose of this report is to provide an evidence base for the NPSG in developing their Neighbourhood Plan. The specific focus of the report is to test the feasibility of several sites within the village and provide design principles for the sites that are considered feasible in the form of site-specific design codes. The aim of the design codes is to influence the form and quality of future development proposals and help to ensure that they will be in keeping with character of Brinklow Village.



1.5 THE STUDY AREA

Brinklow is a village and parish in the Rugby district of Warwickshire, England. The parish of Brinklow is also designated as a Neighbourhood Plan area. The population of Brinklow is approximately 1,101 people (2011 census), up from 1041 in 2001.

The Village and Greenbelt boundary

As the plan above shows the green belt is drawn tightly around the main built area of the village. Elements of the village such as Brinklow Castle, several farmsteads and many back-gardens / unbuilt plots are within the greenbelt designation.

The Study Area

The study area includes the land within the settlement boundary and the land immediately adjacent to it within the greenbelt, broadly equating to the extents of the above plan.

For the purpose of the Design Codes later in the document these are applied to specific sites as illustrated on p.20 but are also relevant to other sites that may come forward in their character areas. For further explanation of this see Section 3: Site Design Codes.

'Infill sites' are sites within the village boundary.

'Greenbelt exception sites' are those that are outside the village boundary but contiguous to it.



1.3 METHODOLOGY AND ENGAGEMENT

The study involved the following stages;

Stage 1: Initial Site and Village Assessment

- Relevant Design Policy and Guidance review;
- Unaccompanied general village walk and assessment and record of character (Weds 27 March, 2019);
- Site walk around four infill/greenbelt exception sites with the Brinklow NP Group (Weds. 27 March, 2019);
- Inception meeting and discussion of project scope; exploration of possibility for reviewing greenbelt exception sites on the edge of Brinklow; and
- Desktop Assessment - mapping and analysing village form and character to discern the key characteristics and context for the sites to take forward in coding.

Stage 2: Capacity testing / Site feasibility layouts

- From this initial assessment the capacity and availability of the small number of infill sites through feasibility layouts (see illustrative plans in Section 3)
- From follow on discussions about the total sites capacity of 25 units the further consideration of coding peripheral sites, particularly the potential of Greenbelt exception sites to deliver affordable housing for local use, led the group seeking a wider site assessment package.

Stage 3: Evaluation of wider sites:

- Unaccompanied site walk around village periphery and greenbelt exception sites (Weds. 24 April, 2019);
- The NP Group applied for a Site Options and Assessment study that looked at sites around the village, including sites previously assessed in the SHLAA process by Rugby BC). For further information see background paper Site Options and Assessment Report, AECOM, 2019); and,
- Brinklow NP Group added an additional site on the village periphery to do feasibility layout work on and design codes based on the site assessment work done by AECOM,.

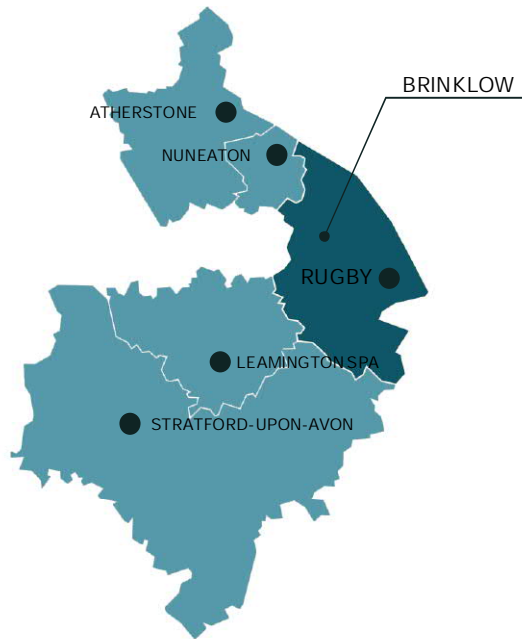
Stage 4: Production of Design Codes for 5 Sites:

- Setting out the character area codes based on the village characterisation study for the design codes;
- Setting out a set of Site Design Codes derived from the characterisation study and informed by the conservation area appraisal; and
- Production of Site Design Codes for 5 sites which set a template for using the characterisation to inform the design of future development on the sites and can be applied to further sites that may come forward.

1.4 PLANNING POLICY AND GUIDANCE

This section summarises this planning policy context and guidance which is particularly relevant to this study.

Future development within the area must comply with national and local planning policy (see below graphic).



The following policies have informed the appraisal of character in Brinklow and specifically these Design Codes should be looked at in conjunction with the Brinklow Conservation Area Appraisal (Rugby BC, 2010).

Brinklow Conservation Area Appraisal (2010)

The Conservation Area occupies the northern part of the village with the later development to the south west. The designation is linear in form with the most prominent topographical feature the Motte and Bailey castle crowning a hill to the north-east of the village.

The document allows understanding the main characteristics of the Conservation Area and identify heritage and archaeological assets, as well as important landscaping, open and green spaces. It also suggests opportunities for enhancement.

National Planning Policy Framework

This version replaces the first National Planning Policy Framework published in March 2012, and includes minor clarifications to the revised version published in July 2018. The revised National Planning Policy Framework will be a vital tool in ensuring that we get planning for the right homes, built in the right places, of the right quality, at the same time as protecting our environment.

Local Development Framework: Final version Core Strategy

The Core Strategy forms one part of the Rugby Borough Local Development Framework (LDF). The LDF is the collective name for a series of documents that together will guide future development in the Borough replacing the Rugby Borough Local Plan 2006. The Core Strategy contains strategic policies which will guide the future development of the Borough up to 2026.

Rugby Borough Council Local Plan 2011-2031

This document sets out the Council's policies and proposals to support the development of the Borough through to 2031. The Local Plan is the foundation and most important component of the wider Development Plan which will also include a Community Infrastructure Levy (CIL) Charging Schedule and a collection of Supplementary Planning Documents.



The following list summarises the relevant local and national policy and guidance.

National Planning Policy Framework (NPPF) (2018)

The relevant paragraphs are:

Delivering a sufficient supply of homes

Building a strong, competitive economy

Promoting healthy and safe communities

Promoting sustainable transport

Making effective use of land

Achieving well designed places

Conserving and enhancing the natural environment

Conserving and enhancing the historic environment

Local Development Framework: Final version Core Strategy (June 2011).

Policy CS1: Development Strategy;
Policy CS13: Local Services and Community Facilities;
Policy CS14: Enhancing the Strategic Green Infrastructure Network; Policy CS16: Sustainable Design;
Policy CS17: Sustainable Buildings;
Policy CS18: Portfolio of Employment Land;
Policy CS19: Affordable Housing
Policy CS20: Local Housing Needs

Rugby Borough Council Local Plan 2011-2031 (September 2016)

Policy GP1: Securing Sustainable Development;
Policy GP2: Settlement Hierarchy;

Policy GP5: Parish or Neighbourhood level documents;
Policy DS1: Overall Development Needs;
Policy DS3: Residential a/locations;
Policy DS4: Employment allocations;
Policy DS6: Rural A/locations;
Policy H1: Informing Housing Mix;
Policy NE1: Protecting Designated Biodiversity and Geodiversity Assets; Policy NE3: Blue and Green Infrastructure Policy;
Policy NE4: Landscape Protection and Enhancement;
Policy SDC1: Sustainable Design;
Policy SDC2: Landscaping;
Policy SDC3: Protecting and enhancing the Historic Environment;
Policy SDC4: Sustainable Buildings;
Policy 01: Transport;
Policy 02: Parking facilities;

2.0 ASSESSMENT

2.1 Settlement pattern

Brinklow is a village and parish in the Rugby district of Warwickshire, England located five miles north west of Rugby and seven miles of Coventry. The village's traces its origins back to pre-Roman times and the majority of the village is designated as a Conservation Area. The village is linear in form with development located along the streets, with most prominent topographical feature the Motte and Bailey castle crowning a hill to the north-east of the village. It is a well preserved example of an early Norman type of stronghold which originally may have been built if timer.

The village mostly comprised of residential dwellings and farmsteads. But there are also a number of shops, pubs, churches and other services in the village. The village is characterised by 2-3 storey historic development, with an exception of much newer estate to the west comprised of bungalows and modern terraced properties. The vegetation along the roads and at the back of the development creates a leafy, rural environment. This contrasts with areas of openness and agricultural fields.



2.2 Movement

The village is well connected with Rugby, Coventry and many other surrounding settlements. The village is established on the intersections of Coventry Road-Rugby Road and Fosse Way that accommodate the main vehicular traffic through the village.

Bus services (585,785) from the Fosse Way and Rugby-Coventry road connect the village to Coventry, Rugby and Hillmorton.

There are numerous non-vehicular routes including Public Rights of Way (PROW) and public footpaths that run within and outside the village. The internal footpaths link a series of green amenities and provide connectivity with the wider movement network, creating a pleasant walking environment.

Main streets are generally flanked by footpaths each side but in some cases, narrower streets / lanes have only one side or a demarcated pedestrian zone in the road.



Primary routes - Historic through routes

The village is formed around two key through routes, The Fosse Way running north-south and the Rugby - Coventry Road running east-west. The Fosse Way is made up of The Crescent (north) and Broad Street (south), with two distinct characters (see section 2.4 Built-form and Character). Both are characterful streets with good architecture, a varied urban form and visual richness.



Secondary routes - Residential access streets

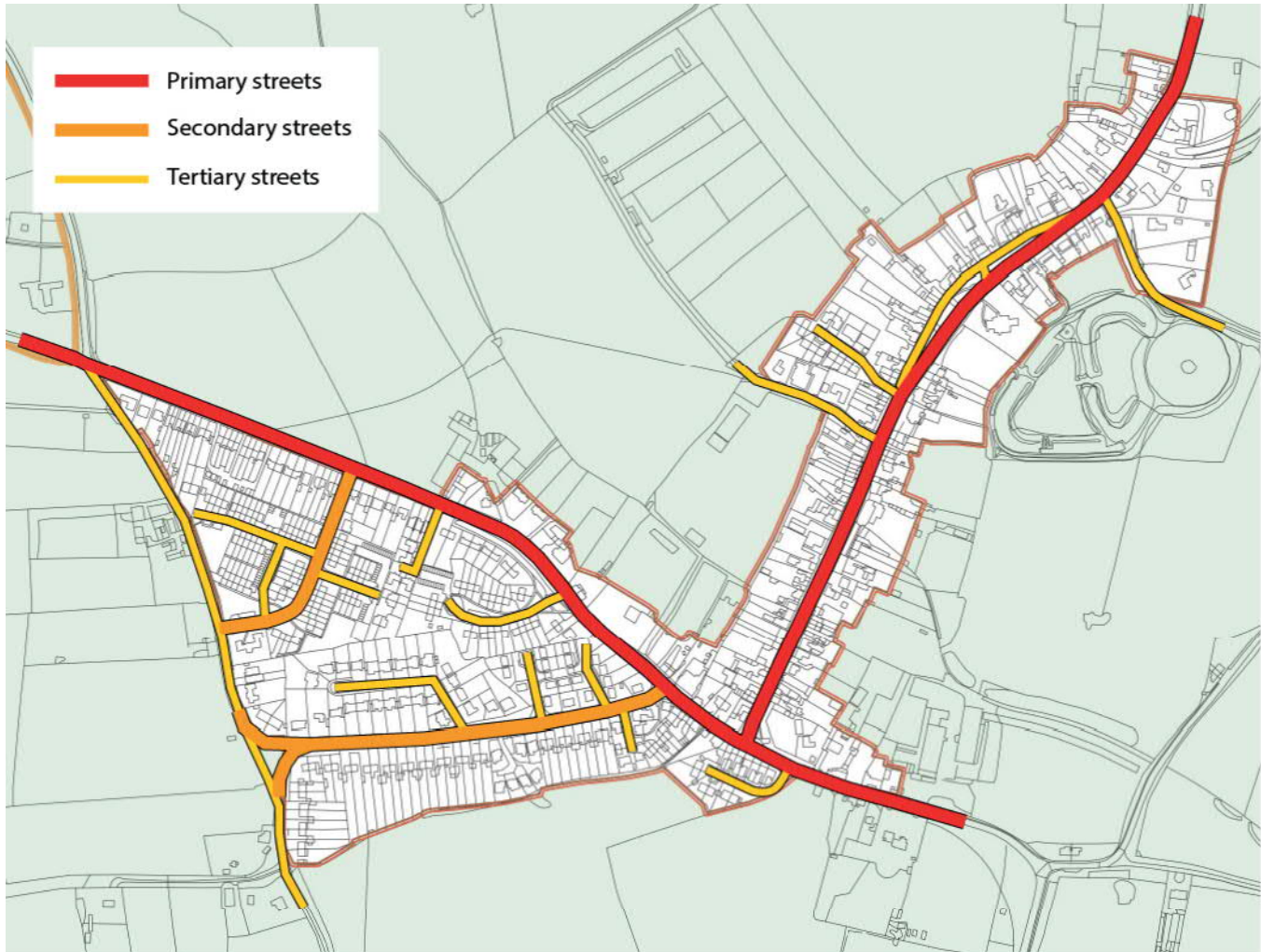
Heath Lane and Great Balance are modern residential access streets associated with suburban expansions to the village and are less in keeping with the historic village core. They are more highways design driven and form housing estates with repeated house types and a less organic urban form.



Tertiary routes - Lanes and mews

Barr Lane and Green Lane are key examples of lanes in Brinklow. Barr Lane connects from Broad Street to the Playing Fields and GP Surgery and is a narrow side lane between buildings / plots leading to open space and paths beyond. Green lane is a rural edge lane with the fields and allotments beyond. It is hedge-lined with sporadic homes, usually set back with green verges.





2.3 Landscape and Open Space

Brinklow is surrounded by an open countryside (Green Belt) that forms its rural character. The village is bounded by mature vegetation and hedgerows, which contrasts with areas of openness. However, due to the siting of buildings in close proximity to each other and the relatively high density of development, the countryside has a limited impact within the Conservation Area. On The Crescent the impact of the countryside is greater as the rural surroundings leak into the village to the south of the church. This open land drops in level towards the road and is read in conjunction with the adjacent churchyard.

The surroundings landscape of the village is predominately flat and open with an exception of the prominent local topographical landmark the Motte and Bailey castle, which is a designated scheduled monument.



2.4 Village Facilities

Brinklow is predominantly comprised of residential developments from different eras. The most of the village's local amenities are within a walking distance to the residential developments. The village has a number of local pubs and retail units. There is also a local surgery, church, day nursery and playfields. Considering the size of the settlement, the village has a good selection of accessible services.



2.5 Built-form and Characterisation

The northern part of the village is designated as the Conservation Area. The designation is linear in form with the most prominent topographical feature the Motte and Bailey castle crowning a hill to the north-east of the village. It is a well preserved example of an early Norman type of stronghold which originally may have been built of timber. There are also a number of Grade II and II* Listed buildings within the village. The images of these buildings to the right demonstrate that Brinklow has a rich history and many historical assets which should be protected. The architectural detailing seen on many of the historic buildings in Brinklow should be seen as precedents for future development. However, designers must be careful not to replicate styling as a pastiche of historic housing as this will undermine Brinklow historic character.

The following sections describe the typical characteristics of three significant character areas in Brinklow. For a full assessment of the Conservation Area see the Brinklow Conservation Area Appraisal (Rugby BC, 2010).



"The Conservation Area comprises three main roads, Coventry Road/Rugby Road, Broad Street and The Crescent. The majority of land is occupied by buildings; the only large undeveloped areas are to the rear of buildings on the northern side of Coventry Road, the series of greens by The Crescent and land around the church and the castle site"



Motte and Bailey castle / St. John the Baptist



The Crescent village greens / level change

Area 1: Conservation Area

Three key village-scale streets with a mix of enclosure and a variety of architecture and spatial forms; Broad Street enclosure, The Crescent village greens and; farmsteads/farm houses on Rugby-Coventry Road.

Typical Characteristics:

- Building types are mixed and include; wide-fronted attached cottages; narrow fronted terraced houses, occasional detached houses;
- Building heights are typically 1.5 - 2 storeys on 'The Crescent and 2 - 2.5 storeys on Broad Street;
- Plots are somewhat irregular due to incremental historic growth but are overall narrower to the street and deeper extending back from the main street;
- Building setbacks are mixed, ranging from hard-up to the back of pavement to small front gardens; where properties have no front garden they sometimes have a gently contrasting paved strip to identify a private thresholds;
- Parking for modern dwellings it is usually in rear courts and for historic properties where achievable it is usually to the side of plot or accessed via narrow lanes;
- Front boundaries are present in almost all properties that are set back from the street and are mixed, including; metal railings, stone piers and low-walls; low walls only; and sometimes combined with hedgerows or planting strips; and
- Building materials are mixed but predominantly consist of; red brick; structural timber frames; render; stone sills; painted timber window frames and occasional thatched roofs.
- Detailing include; Flemish bond brick-laying; decorative brick patterns; dormer windows; coynes; stone lintels and arches; and
- The roofscape is varied in height and broken with dormer windows but the pitch (mostly 40 - 50') is generally in-line with the street but interspersed with gable ends.

For a comprehensive assessment see the Brinklow Conservation Area Appraisal (Rugby BC, 2010).



Rugby-Coventry Road farm houses



Broad Street mix of architecture



Timber frame cottage



Arts and crafts cottage



Porch detail

Key features:

- Well preserved historic architecture of varying periods and linear village form;
- Church and associated open space;
- Village Greens at the Crescent;
- War memorial and open space;
- Brinklow Motte and Bailey Castle;
- Expanse of The Crescent, the scale of enclosure along Broad Street and farm houses on Coventry-Rugby Road; and
- Links to the landscape via public rights of way and views from Brinklow castle.



Aerial photograph of 'The Crescent' on the Fosse Way



Flemish bond brick



Mature tree in verge



Inscribed public bench



Area 2: Heath Lane / Colledge Close / Potters Close

Heath Lane is a spacious suburban housing extension **with generous front gardens but less definition, richness and variety in the streetscene**. Both Colledge Close and Potters Close are single storey bungalows in cul-de-sacs, somewhat hidden away and therefore less impactful.

Building types are predominantly semi-detached houses on Heath Lane and detached or semi-detached bungalows on Colledge Close/Potters Close;

- Building heights are consistently two storeys or single storey bungalows;
- Plots are more regular due to their planned nature and tend to be wider than historic plots with regular spaces between buildings;
- Building setbacks are relatively consistent with front gardens (5-8m) and a landscape verge on Heath Lane and smaller 2m - 8m on Colledge Close and Potters Close;



- Parking is accommodated in several ways including; to the side of plot for houses on Heath Lane, to the front of plot for bungalows on Colledge Close and in front courts on Potters Close;
- Front boundaries generally consist of hedgerows or nothing on Heath Lane; low brick walls on Colledge Close and very basic post and wire fences on Potters close;
- The predominant building material is brick throughout with very occasional instances of a render or part-render finish;
- Detailing is minimal; Flemish bond brick-laying; decorative brick patterns; dormer windows; and
- The roofscape is varied in height and broken with dormer windows but the pitch (mostly 40 - 50') is generally in-line with the street but interspersed with gable ends.



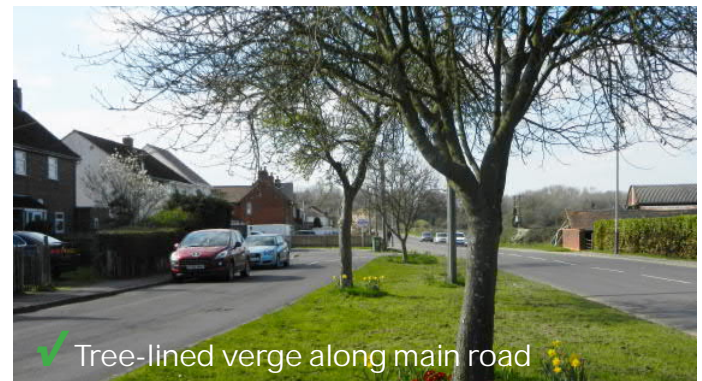


Area 3: Great Balance / Skipwith Close

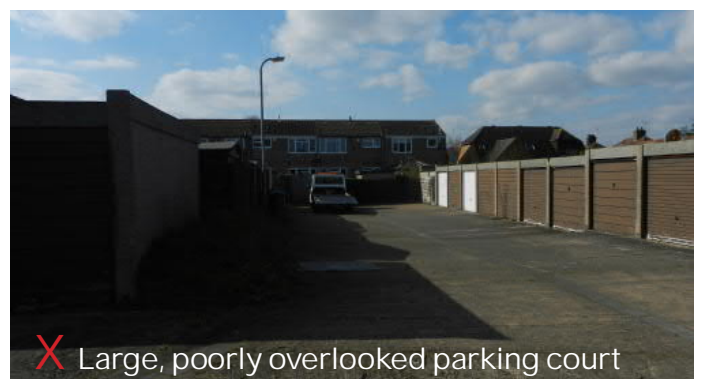
A denser suburban housing estate with smaller front gardens and greater street enclosure due to longer runs of modern terraced houses. Some layout issues with building front-to-back relationships and unsurveyed parking courts with garages.

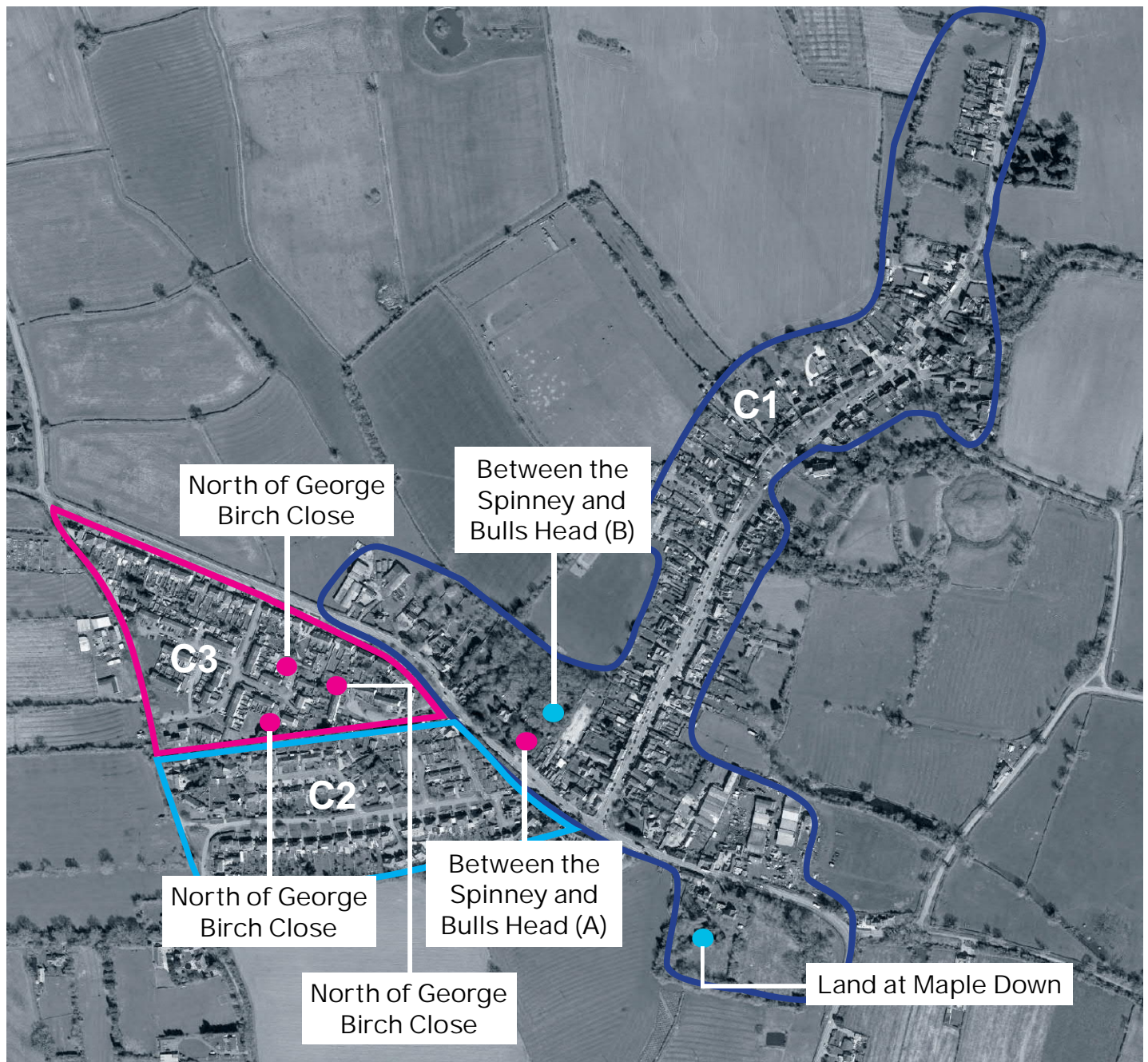
Typical Characteristics:

- Building types are predominantly terraced houses in runs of up to six units with some small low-rise apartments blocks;
- Building heights are consistently two storeys across the area;
- Plots are regular due to their planned nature but much smaller than at Heath Lane and tend to be narrow due to the attached building forms;



- Building setbacks are relatively consistent with small front lawns (circa 3-5m);
- Parking is either accommodated to the front of plot (often gardens have been paved over) generally accommodated in rear or side courts on Potters Close;
- Front boundaries are inconsistent but where found generally consist of low brick walls or hedgerows;
- The predominant building material is pale brick and hung-tiles with white or brown window surrounds/doors and garages;
- Detailing is minimal; hung-tiles sometimes on upper storeys; minimal decorative features; and
- The roofscape is minimalistic in height and broken with dormer windows but the pitch (mostly 30 - 40°) is generally in-line with the street but interspersed with gable ends;





3.0 SITE DESIGN CODES

The following design codes are overarching guidelines for the village and must be interpreted as a starting point for all new housing sites within the village. Exceptions to the code are inevitable but must be robustly justified and in keeping with the spirit of the code. The codes are not intended to stifle creativity and excellent design solutions that are in keeping with or complimentary to the historic character of the village or enhance the sustainability, affordability or meet local needs for housing within the village should be considered on their merits, as long as they are well-designed. Otherwise, copying the past in an inauthentic ways with 'bolt-on' elements is not deemed a suitable design response. Recreating the details and features of the historic village if done in a thoughtful and considered fashion is not ruled out however, if it shows respect to the craftsmanship of the original features. Likewise, reinterpreting the local vernacular architecture in an up to date way, using up to date building technology and materials is certainly not prohibited but still requires excellent design quality so as to enhance the character of the village overall.

Character Areas (C)

The following character codes apply to all potential housing sites:

C1. Sites within Area 1: Conservation Area or adjacent or prominent on the two main routes through the village (i.e.. have a frontage on to the Fosse Way or Rugby-Coventry Road) must respond to the characteristics identified for the Conservation Area previously and with particular reference to Brinklow Conservation Area Appraisal, Rugby BC, 2010.

C2. Sites within Area 2: Heath Lane/ Colledge Close / Potters Close or directly adjacent must respond to the characteristics previously identified for that area, except for frontages to the two main routes through the village (Fosse Way and Rugby-Coventry Road) in which case refer to C1.

C3. Sites within Area 3: Great Balance / Yew Tree Hill or directly adjacent must respond to the characteristics previously identified for that area, except for frontages to the two main routes through the village (Fosse Way and Rugby-Coventry Road) in which case refer to C1.

Based on the assessment of typical village characteristics in the previous section the following code structure is required to be applied in developing detailed designs for the sites. This code structure and the character assessments can be applied to future sites within and around Brinklow village.

The categories for site specific codes are as follows:

Streets and connectivity (S)

S1. Street type/s and other routes

S2. Public realm and landscaping

Building types & heights (B)

B1. Building types

B2. Building heights

Plot setback and parking (P)

P1. Setback and plot depth

P2. Parking on plot

Thresholds & Boundaries (T)

T1. Front boundary treatment

T2. Rear boundary treatment

Materials & Roofscape (M)

M1. Materials and details

M2. Roofscape

1 LAND BETWEEN THE SPINNEY AND BULLS HEAD

Site Description

Location: North of Coventry Road, extending to the recreation field

Site Area: approximately 0.30 hectares.

Designations: The majority of the site is within the Greenbelt (see adjacent plan); the site is wholly within Brinklow Conservation Area.

Physical character: The site contains mature vegetation, hedgerow and an informal footpath

Current use: Informal landscape and footpath link

Potential use: Residential (C2 dwelling houses)

Potential vehicle access: New junction on Coventry Road



Site boundary plan

Character Area (C)

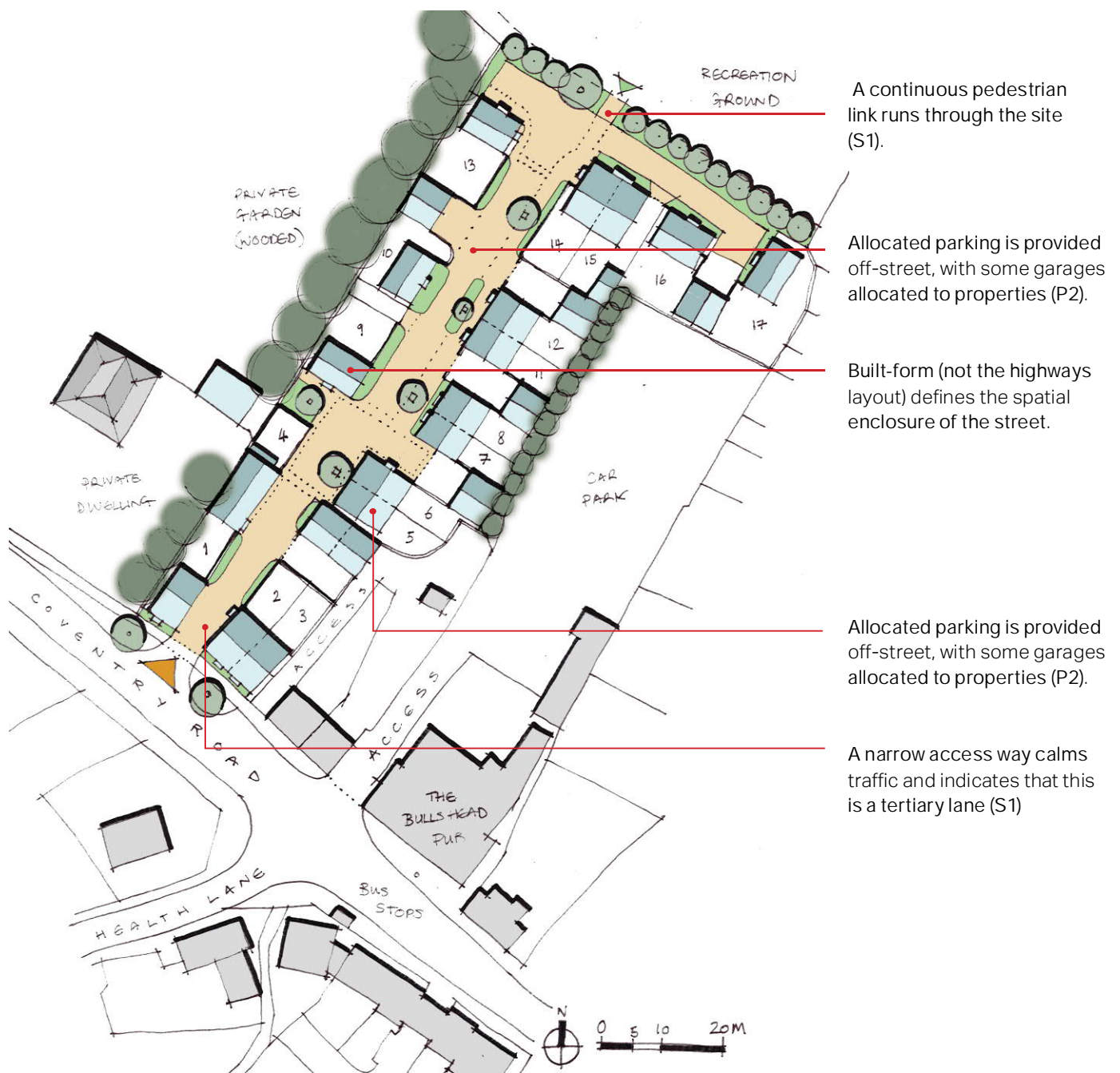
C1. Conservation Area or adjacent: the design of the site must respond to the characteristics identified in the previous section and make specific references to the more detailed assessment in the Brinklow Conservation Area Appraisal (Rugby BC, 2010).

Considerations

1. The site straddles the village boundary and as such market housing can only be proposed within the village boundary, with affordable housing within the greenbelt.
2. A footpath (not a designated public right of way) passes through the site and connects Coventry Road; to the recreation ground, a useful link to the south-west of the village that must be retained.
3. A zebra crossing faces the site frontage and must be successfully integrated with site access proposals or relocated nearby.



Existing footpath



Indicative Layout

The indicative layout demonstrates how the site may be developed in line with the Design Codes and shows circa 17 new residential dwellings comprised of both semi-detached and detached units (including flats over garages or mews houses with integral parking). The site is accessible from Coventry Road both by vehicles and pedestrians. Another pedestrian access is located in the north of the development providing links with the recreation ground. The internal public realm is arranged in a shared-space manner that will allow a low-key, pedestrian friendly environment.

1 LAND BETWEEN SPINNEY AND BULLS HEAD

Streets and connectivity

S1. Street types and other routes

- Tertiary street types (Lanes, Mews and Edge Lanes) are both appropriate according to the site location and connectivity required from it (see diagrams below);
- A continuous, accessible pedestrian route must be retained from the recreation ground to Coventry Road; and
- Access to the site must incorporate or replace the existing zebra crossing.

S2. Public realm and landscaping

- Tree planting and landscape must be used to soften the street scene and to maintain a green character for a link through to the recreation ground.
- Shared surface street design principles are appropriate in this context: delineate pedestrian 'safe zone' in street detailing (see adjacent photographs).



Indicative street section of a Mews Lane

1m 6m min. 2.2m 1m
Privacy strip Shared Street Parking Privacy strip

The high level of enclosure can be varied with setbacks and front gardens



Well landscaped public realm

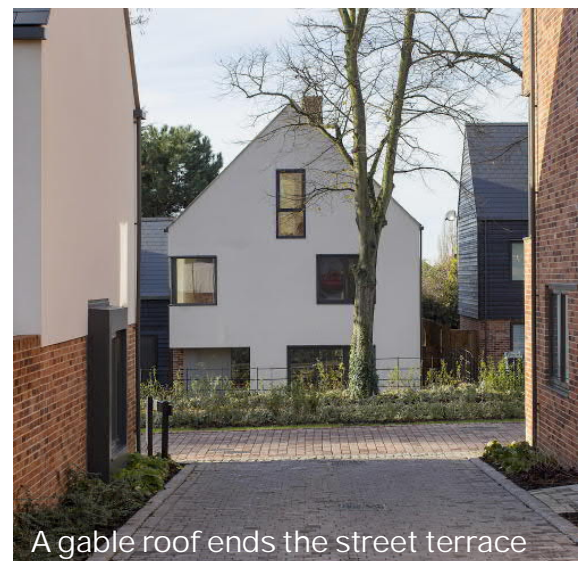
Building types and heights

B1. Building types

A mix of types including detached, semi-detached and terraced are suitable to provide for locally assessed housing need. Larger attached dwellings are appropriate for the site frontage and smaller mews-style homes are recommended within.

B2. Building heights

2 storey dwellings are appropriate within the site. 2.5 storey dwellings are also appropriate on the site frontage to Coventry Road or overlooking the recreation ground.



A gable roof ends the street terrace

Plot-setbacks and parking

P1. Plot setbacks

- Buildings on site frontage should have a consistent set back from the pavement (maximum of 1.5m);
- Building within the site may have a varied setback; and
- Buildings overlooking the recreation ground should have a consistent setback.

P2. Parking

- Parking must be to the rear of the building for dwellings along Coventry Road.
- Within the site a range of parking types are acceptable; on-plot (front and side); separate garages and integral car-ports and garages.



Thresholds and Boundaries

T1. Front boundary treatment

- Metal railings; no boundary treatment with hard-surface threshold or planted strip; or low masonry wall with piers (masonry must match building material); and
- Hedgerows by themselves or combined with any of the above are appropriate.

T2. Rear boundary treatment

- 1.8m high privacy fence where not facing the public realm; and
- Where visible from the public realm masonry walls (to match the building material) should be used between buildings.



Materials and Roofscape

M1. Materials and details: Materials must harmonise with or compliment adjacent buildings which are predominantly red-brick;

M2. Roofscape: The roofscape (including eaves and ridge heights) may vary between neighbouring buildings but just not vary by more than 1m.



2 LAND OFF YEW TREE HILL

Site Description

The site is located at the end of Yew Tree Hill. Only covering 0.05 hectares, the site provides opportunities for a small scale infill development.

Location: South of Coventry Road

Site Area: approximately 0.05 hectares.

Designations: None

Physical character: A parking court with garages

Current use: Residents parking

Potential use: Residential (C2 dwelling houses)

Potential vehicle access: Upgrade existing access



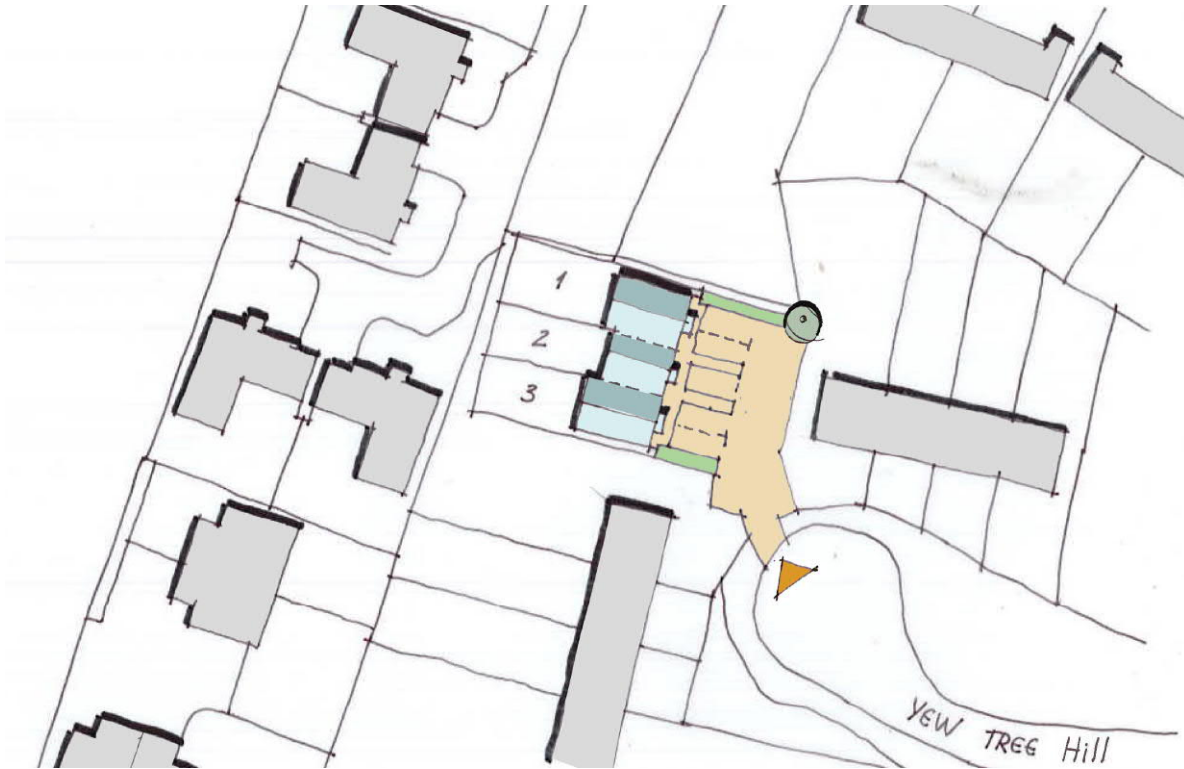
Considerations

1. Provision of alternative/replacement parking for residents if required;
2. Maintaining existing privacy and amenity of new and existing residents;



Indicative Layout

Up to three two-storey terraced properties with allocated front-court parking can be achieved. The proposed layout does not affect the neighbour's amenity providing acceptable level of privacy, separating distances as well being set behind the existing building line.



Character area

C3. Sites within Area 3: Great Balance / Yew Tree Hill or directly adjacent must respond to the characteristics previously identified for this area.

Streets & connectivity

S1. Street type/s and other routes: Private drive (accessible to no more than 5 dwellings).

S2. Public realm and landscaping: Shared-space with hard and soft landscaping

Building types & heights

B1. Building types: Detached / Terraced / Flats over garages

B2. Building heights: 2 storey maximum

Plot setback & parking

P1. Setback and plot depth: Must be set on or behind building line of adjacent terrace on Yew Tree Hill;

P2. Parking: Front of plot, accessed via private drive;

Thresholds & boundaries

T1. Front boundary treatment: Perpendicular hedgerows to screen parking spaces;

T2. Rear boundary treatment: 1.8m privacy fence

Materials & roofscape

M1. Materials and details: Pale render

M2. Roofscape: Consistent eaves and ridge height.

3 LAND SOUTH OF GEORGE BIRCH CLOSE

The site covers 0.05 hectares and is located at the end of George Birch Close on its Southern side.

Indicative Layout

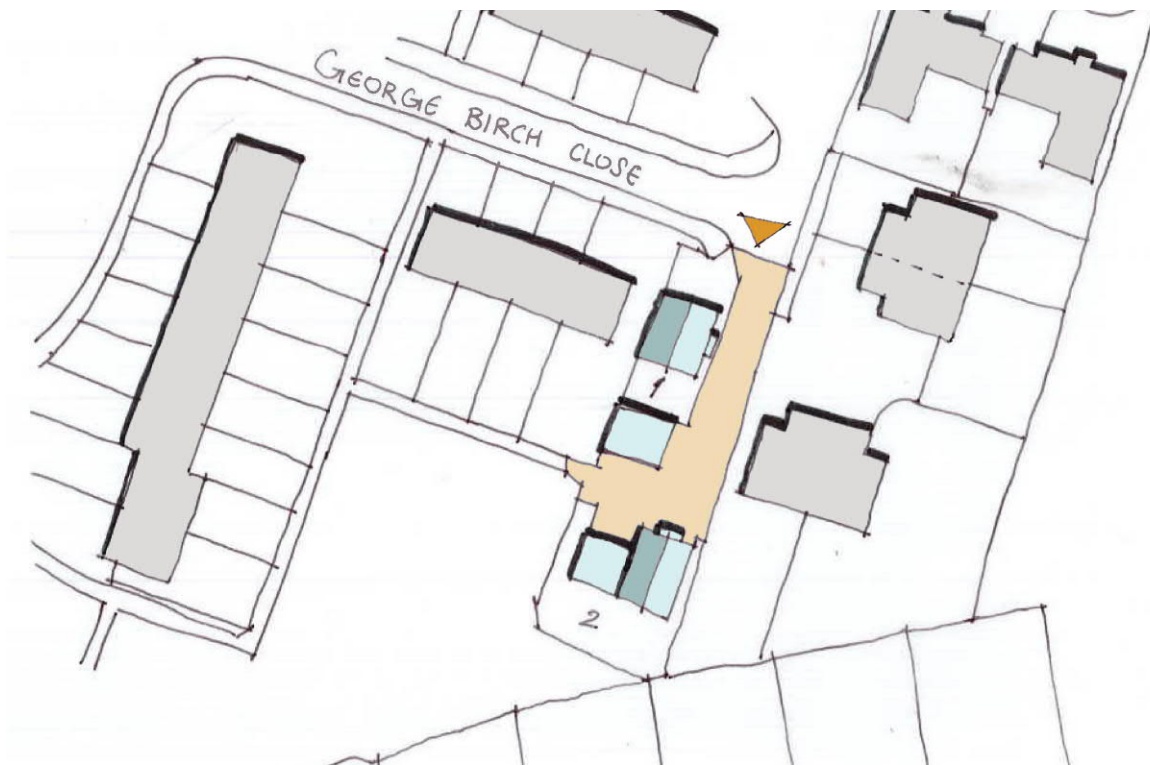
The proposed development is comprised of two detached properties with a detached double garage each. A shared space will allow a better relation between pedestrians and incoming traffic within the site. The site is bounded by surrounding properties.



Considerations

1. Provision of alternative/replacement parking for residents if required;
2. Maintaining existing privacy and amenity of new and existing residents;





Character area

C3. Sites within Area 3: Great Balance / Yew Tree Hill or directly adjacent must respond to the characteristics previously identified for this area.

Streets & connectivity

S1. Street type/s and other routes: Private drive (accessible to no more than 5 dwellings).

S2. Public realm and landscaping: Shared-space with hard and soft landscaping

Building types & heights

B1. Building types: Detached

B2. Building heights: 2 storey maximum

Plot setback & parking

P1. Setback and plot depth: Must be set on or behind building line of adjacent terrace on Yew Tree Hill;

P2. Parking: Front of plot, accessed via private drive;

Thresholds & boundaries

T1. Front boundary treatment: Planted strip (0.3 - 0.9m);

T2. Rear boundary treatment: 1.8m privacy fence

Materials & roofscape

M1. Materials and details: Sentinel dwelling to match or complement George Birch Close;

M2. Roofscape: Consistent eaves and ridge height to match George Birch Close

4 LAND NORTH OF GEORGE BIRCH CLOSE

The development site covers approximately 0.08 hectares and is located at the end of George Birch Close on its Northern side.

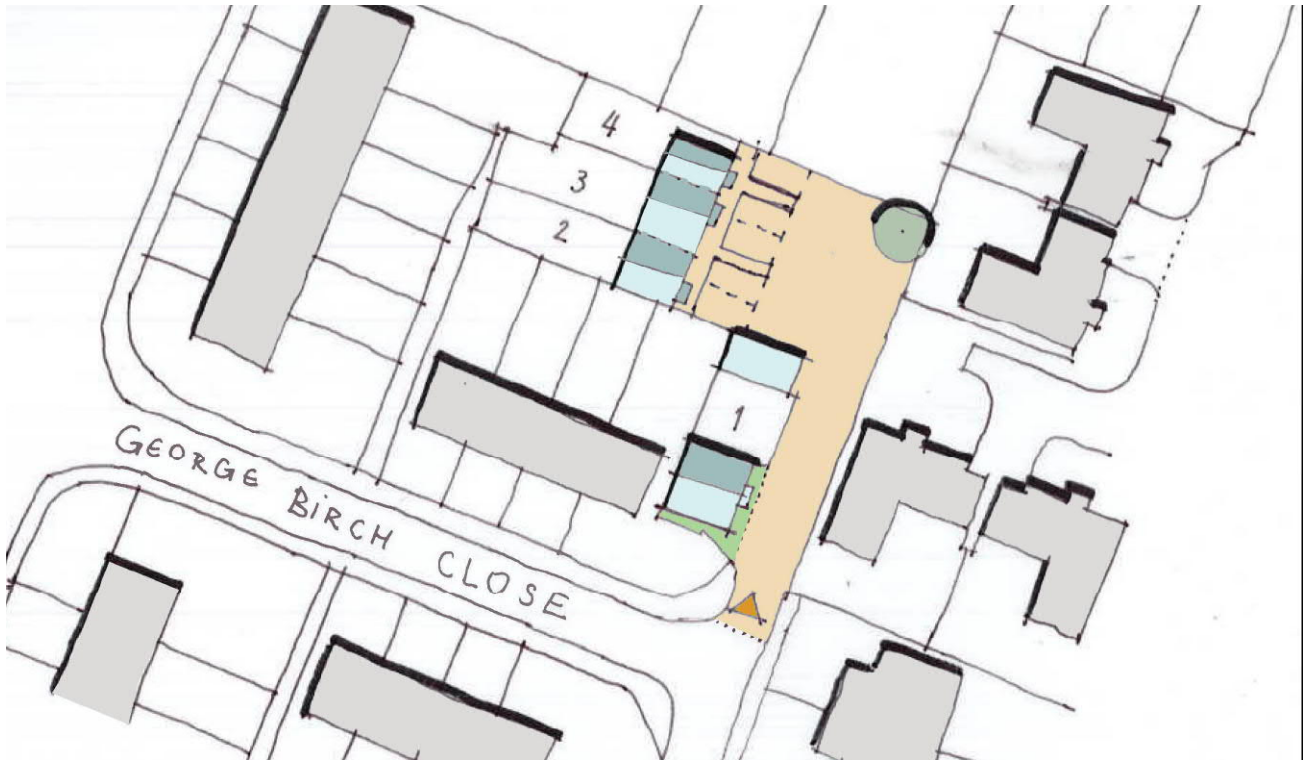
Character Code (C-C2)

C2. Sites within Area 2: Heath Lane/ Colledge Close / Potters Close or directly adjacent must respond to the characteristics previously identified for that area, except for frontages to the two main routes through the village (Fosse Way and Rugby-Coventry Road) in which case refer to C1.

Indicative Layout

The proposed development is comprised of a single detached property with a detached garage as well as a row of terraced properties with allocated on-street car parking. Shared space will minimise segregation between





Character area

C3. Sites within Area 3: Great Balance / Yew Tree Hill or directly adjacent must respond to the characteristics previously identified for this area.

Streets & connectivity

S1. Street type/s and other routes: Private drive (accessible to no more than 5 dwellings).

S2. Public realm and landscaping: Shared-space with hard and soft landscaping

Building types & heights

B1. Building types: Detached / Terraced / Flats over garages

B2. Building heights: 2 storey maximum

Plot setback & parking

P1. Setback and plot depth: Must be set on or behind building line of adjacent terrace on George Birch Close;

P2. Parking: Front of plot, accessed via private drive;

Thresholds & boundaries

T1. Front boundary treatment: Perpendicular hedgerows to screen parking spaces;

T2. Rear boundary treatment: 1.8m privacy fence

Materials & roofscape

M1. Materials and details: Sentinel dwelling to match or complement George Birch Close;

M2. Roofscape: Consistent eaves and ridge height to match George Birch Close

5 LAND AT MAPLEDOWN

Site Description

Location: South of Rugby Road

Site Area: approximately 0.75 hectares (see adjacent plan)

Designations: Greenbelt

Physical character: The site contains mature trees and is well screened along its boundaries.

Current use: Private dwelling house / paddock

Potential use: Residential (C2 dwelling houses)

Potential vehicle access: New junction on Rugby Road

Character Area (C)

C1. Conservation Area: the design of the site must respond to the characteristics identified in the previous section and make specific references to the more detailed assessment in the Brinklow Conservation Area Appraisal (Rugby BC, 2010).

Considerations

1. The site requires demolition of an existing house (not listed) and retention of mature trees and walled along the site boundaries;
2. The site is within the greenbelt and should focus on providing affordable housing; and
3. The Rugby Road site frontage should be set back behind existing trees to minimise any potential view from the Scheduled Ancient Monument to the north beyond Home Farm.



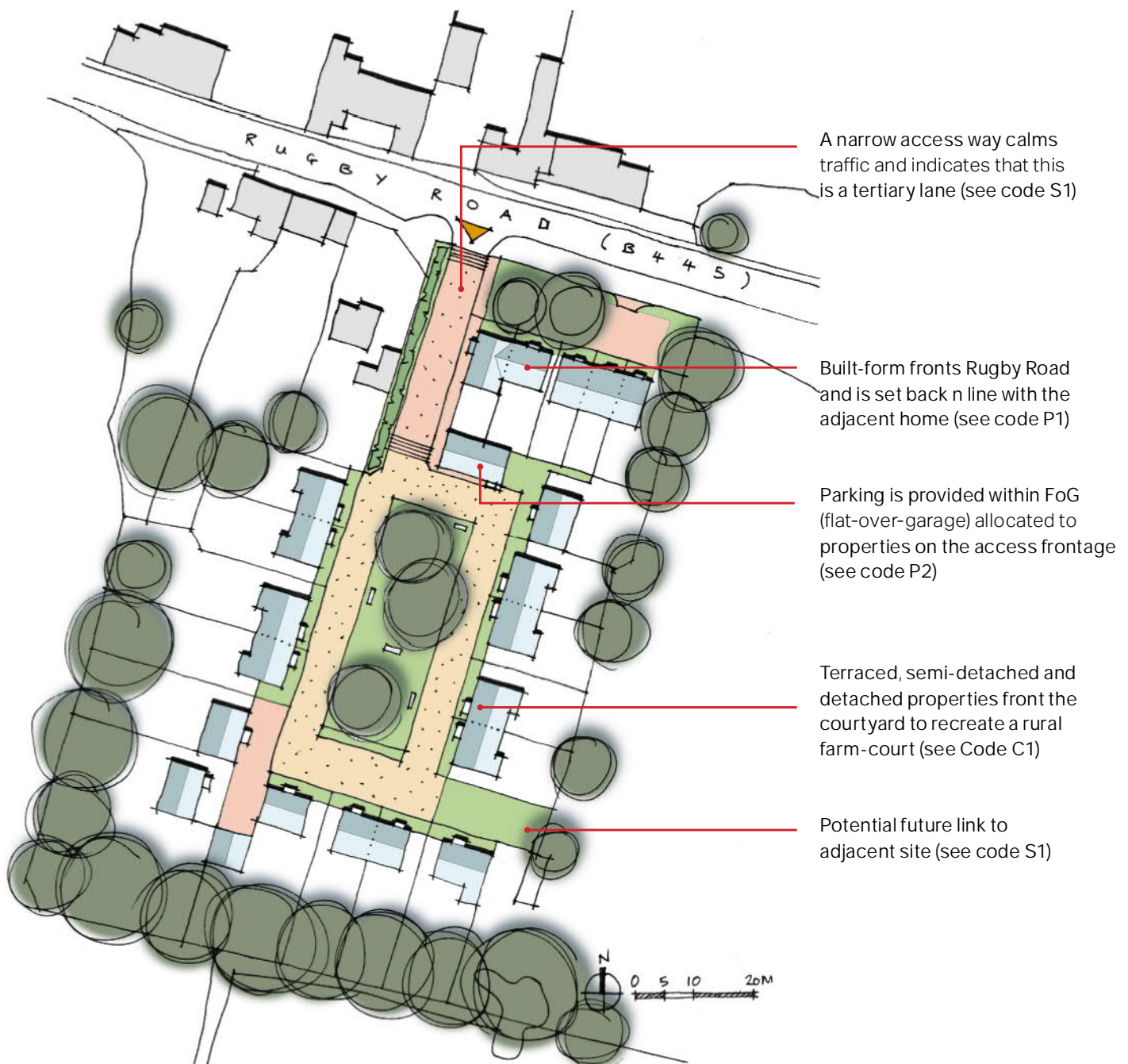
Site boundary plan



Existing home and front boundary wall / site



Existing homes opposite the site



Indicative Layout

The indicative layout demonstrates how the site may be developed in line with the Design Codes and shows circa 21 new residential dwellings comprised of both terraced, semi-detached and detached units (including flats over garages or mews houses with integral parking). The site is accessible from Rugby Road both by vehicles and pedestrians. The internal public realm is arranged as a shared-space courtyard that will create a low-key, pedestrian friendly environment that compliments the existing farmsteads and farmhouses within the conservation area to the north.

5 LAND AT MAPLEDOWN

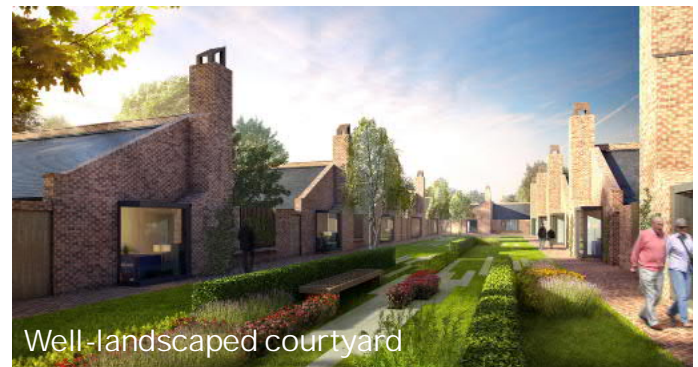
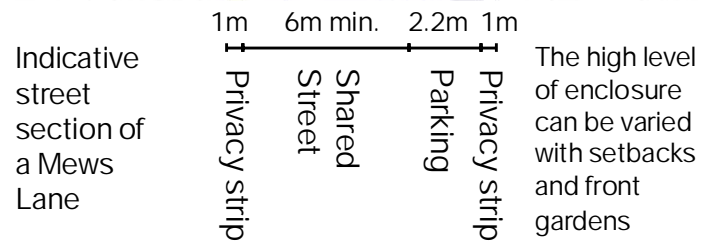
Streets and connectivity

S1. Street types and other routes

- Tertiary street types (Lanes and Mews Courtyard) are both appropriate according to the site location and connectivity required from it (see adjacent indicative section); and
- Access to the site must incorporate or replace the existing site access locations.

S2. Public realm and landscaping

- Existing mature tree planting and vegetation of high quality must be incorporated to soften the street scene and to screen development from the landscape and any potential sensitive views to the north.
- Shared surface street design principles are appropriate in this context: delineate pedestrian 'safe zone' in street detailing and incorporate landscape (see adjacent photo).



Building types and heights

B1. Building types

A mix of types including detached, semi-detached and terraced are suitable to provide for locally assessed housing need. Smaller attached dwellings are appropriate for the site frontage and larger mews-style homes are recommended within the site.

B2. Building heights

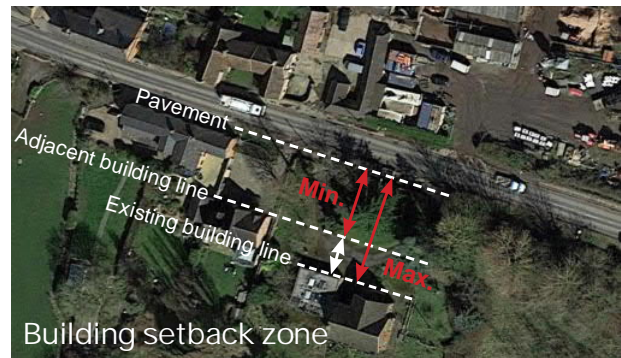
Up to 2.5 storey dwellings are appropriate within the site. Two storey dwellings are appropriate on the site frontage to Rugby Road.



Plot-setbacks and parking

P1. Plot setbacks

- Buildings on the site frontage should have be set back from back of pavement in line with the adjacent dwelling (also in order to retain trees);
- Building within the site may have a varied setback; and
- Buildings overlooking the recreation ground should have a consistent setback.



P2. Parking

- Parking must be to the rear of the building line or within a front parking court (walled) for dwellings along Rugby Road; and
- Within the site a range of parking types are acceptable; on-plot (back and side); separate garages and integral car-ports and garages so that parking does not dominate the street scene.



Thresholds and Boundaries

T1. Front boundary treatment

- Retain or replace existing low masonry wall with piers along the front site boundary (new masonry must match adjacent building material); and
- Hedgerows, metal rails or planted strips (or combinations of) are appropriate within the site.

T2. Rear boundary treatment

- Where visible from the public realm masonry walls (to match the building material) should be used between buildings; and 1.8m high privacy fence where not facing the public realm.



Materials and Roofscape

M1. Materials and details: Materials must harmonise with or compliment adjacent buildings which are predominantly red-brick;

M2. Roofscape: The roofscape (including eaves and ridge heights) may vary between neighbouring buildings but must not vary by more than 1m.



4.0 Next Steps

4.1 Summary Findings

The five site design codes set out in the previous section relate to a variety of locations around Brinklow that should be developed holistically and supported by sensitive infrastructure improvements including transport, open space, access and provision of affordable housing.

A series of sensitive high-quality new additions to Brinklow will only be realised by a continued strong commitment to detail design, sustainability and the focus to deliver a set of sites that respond to the unique character of the village, not just a series of add-on housing estates.

If the rules of the code are followed, there is a certain opportunity to sensitively grow the village and preserve and enhance the special characteristics of the area so that it may continue to grow as a sustainable community by meeting the needs of the present without compromising the needs of future generations.

4.2 Next Steps

There is scope for further investigations regarding the capacity of the sites and village as a whole to move towards carbon neutral development in line with the government's forthcoming Future Homes Standard. Various forms of renewable energy should be investigated.

In order to fully understand the capacity of the sites a more detailed masterplanning process is required to implement the design codes in this report with the provision of the necessary infrastructure for built development.

This report has set out an evidence base for the Brinklow Neighbourhood Plan and it is recommended that this guide is embedded within the forthcoming plan as policy.

